

STRATFORD CROSSING FLATS PLAT 1

FINAL PLAT

PHASING MAP

PHASE 1 = 22 UNITS

PHASE 2 = 20 UNITS

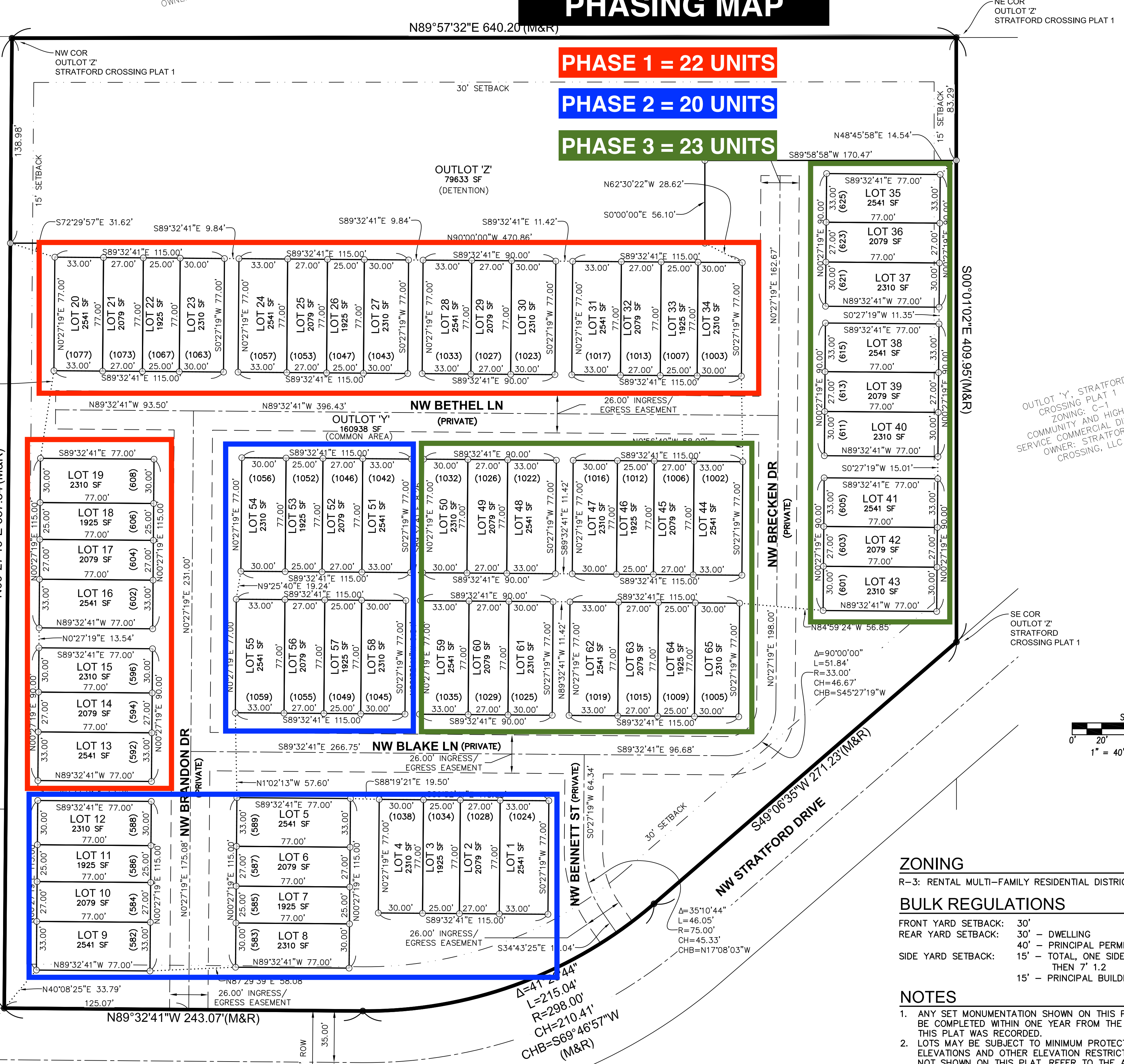
PHASE 3 = 23 UNITS

INDEX LEGEND
 LOCATION: OUTLOT 'Z', STRATFORD CROSSING PLAT 1, WAUKEE, DALLAS COUNTY, IOWA
 REQUESTOR: ELEMENT 119
 PROPRIETOR: STRATFORD CROSSING FLATS, LLC
 10888 HICKMAN RD, STE 3A
 CLIVE, IA 50325
 SURVEYOR: MICHAEL A. BROONER
 COMPANY: CIVIL DESIGN ADVANTAGE
 PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE
 3405 SE CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PH: 515-369-4400

PT. NE 1/4 NE 1/4
 SEC. 29-79-26
 ZONING: A-1:
 AGRICULTURAL DISTRICT
 OWNER: PETERSEN, RICHARD L

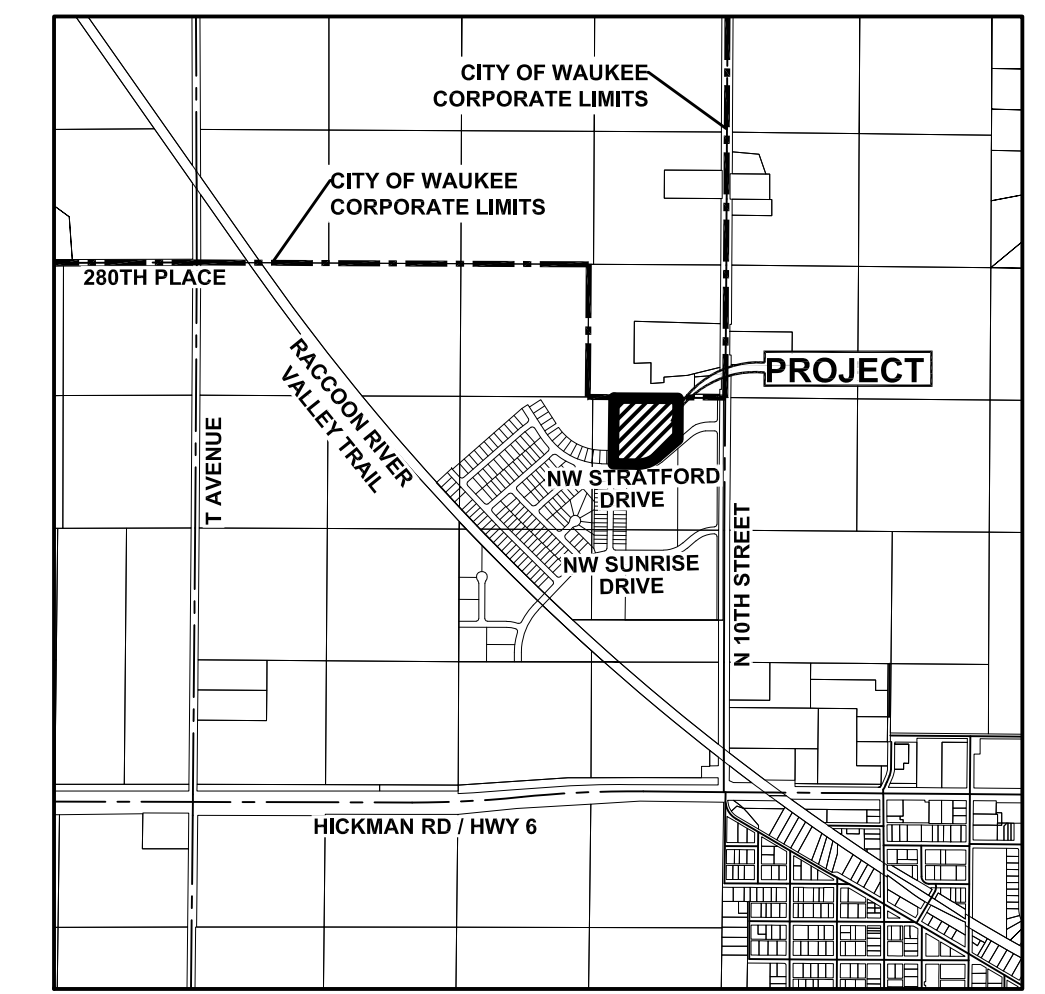
PT. SE 1/4 NE 1/4
 SEC. 29-79-26
 ZONING: R-2
 ONE AND TWO FAMILY
 RESIDENTIAL DISTRICT
 OWNER: STRATFORD
 CROSSING, LLC

STRATFORD CROSSING
 PLAT 1, LOT 3
 ZONING: R-2
 ONE AND TWO FAMILY
 RESIDENTIAL DISTRICT
 OWNER: STRATFORD
 CROSSING, LLC



VICINITY MAP

NOT TO SCALE



WAUKEE, IOWA

DEVELOPER

ELEMENT 119
 CONTACT: BRAD STANBROUGH
 10888 HICKMAN ROAD, SUITE 3A
 CLIVE, IA 50325

OWNER

STRATFORD CROSSING FLATS, LLC
 10888 HICKMAN RD. STE 3A
 CLIVE, IA 50325

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
 3405 SE CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111

DATE OF SURVEY

FEBRUARY 24, 2020

PLAT DESCRIPTION

OUTLOT 'Z', STRATFORD CROSSING PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND CONTAINING 8.87 ACRES (386,487 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

LEGEND

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW PLASTIC CAP #15980 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
PUBLIC UTILITY EASEMENT	P.U.E.	
CURVE ARC LENGTH	AL	
LOT ADDRESS	(1234)	
CENTERLINE	---	---
SECTION LINE	----	----
EASEMENT LINE	-----	-----
BUILDING SETBACK LINE	-----	-----
PLAT BOUNDARY	-----	-----

ZONING

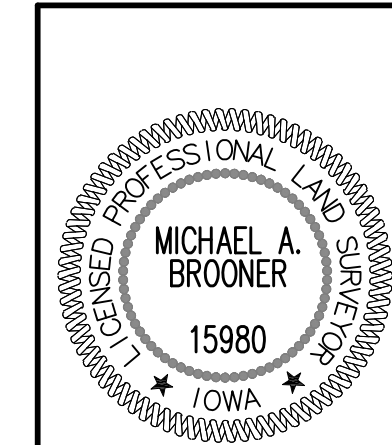
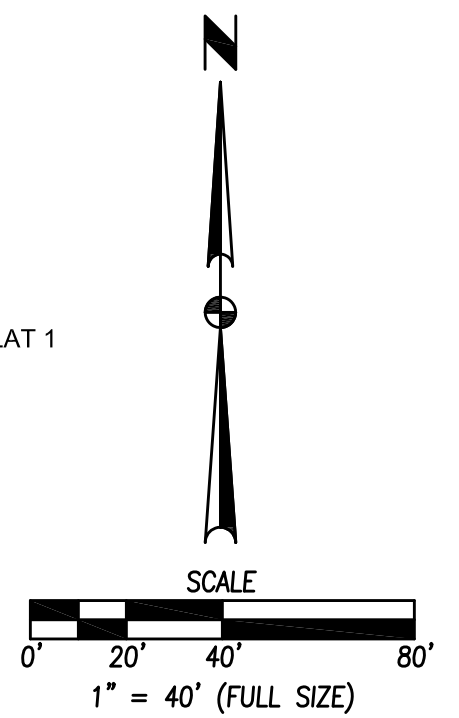
R-3: RENTAL MULTI-FAMILY RESIDENTIAL DISTRICT

BULK REGULATIONS

FRONT YARD SETBACK: 30'
 REAR YARD SETBACK: 30' - DWELLING
 40' - PRINCIPAL PERMITTED USES
 15' - TOTAL, ONE SIDE NOT LESS THAN 7' 1.2
 SIDE YARD SETBACK: 15' - PRINCIPAL BUILDING

NOTES

- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
- A HOMEOWNER'S ASSOCIATION WILL BE ESTABLISHED TO OWN AND MAINTAIN OUTLOT 'Y' AND OUTLOT 'Z'.
- ALL UTILITIES WILL BE OWNED AND MAINTAINED BY A HOMEOWNER'S ASSOCIATION.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

Michael A. Brooner
 MICHAEL A. BROONER, P.L.S. DATE: 4-24-2020

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020
 PAGES OR SHEETS COVERED BY THIS SEAL:
 SHEETS 1-3

DATE: 04/01/20
 03/02/20

REVISIONS: 2ND SUBMITTAL (1ST SUBMITTAL)

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: TECH: EW REVIEW:

CIVIL DESIGN ADVANTAGE

WAUKEE, IOWA

STRATFORD CROSSING FLATS PLAT 1
 FINAL PLAT

1 / 3
 1909.461